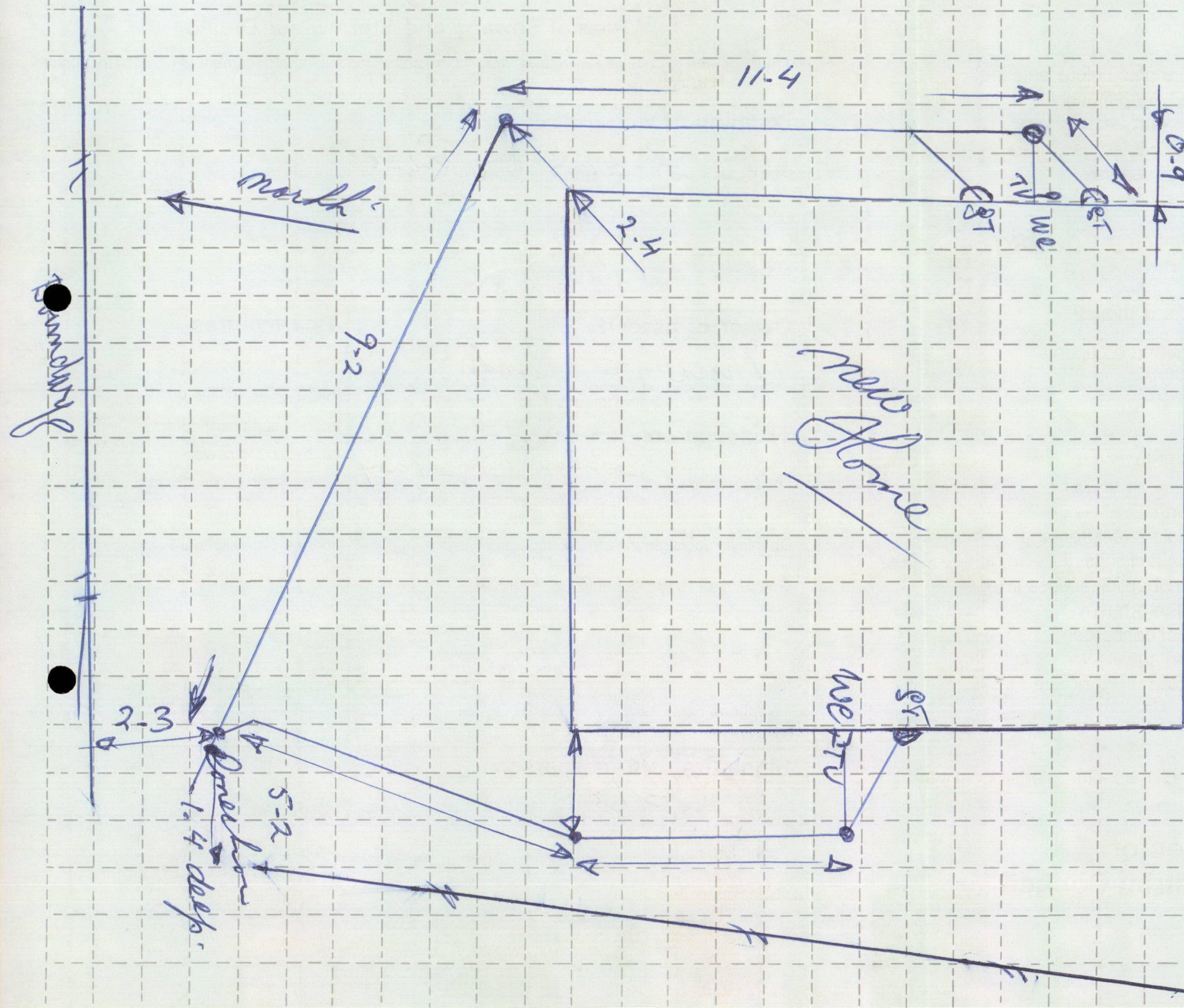


Plans to include

- North point
- Street name
- Legal Boundaries
- Whole buildings
- Depth at connection
- Location of all inspection access
- Stormwater drains
- Protection of shallow drains
- Scale



PLANS

0 1 2 3 4 5 6 7 8 9 10

Scale: 100mm e.g. 1:200 10mm=2m

WHAKATANE DISTRICT COUNCIL

The Strand East, Private Bag, Whakatane.

Telephone (076) 86 149

Plan of Sewage and Stormwater Drains

Tradesperson to complete all details, draw plan and hand completed document to Council Inspector at time of inspection.

Location of work

STREET.....*Ruanui Ave*.....
(number) (name of street) (urban area)

Legal description of property Lot No. DP No.
Allotment/Section

Owner of property

Phil Harris
(owners name and initials)

Tradesperson

Drains laid by: *Bobby Doolan*
(name of tradesperson responsible for work)

Drainlayer registration No.

Company or business name and address.....

Telephone No.
(exchange) (number)

Tick features

new work	<input checked="" type="checkbox"/>
additions to existing drain	<input type="checkbox"/>
alterations to existing drain	<input type="checkbox"/>
connection to sewer	<input type="checkbox"/>
work under contract for council	<input type="checkbox"/>
residential	<input type="checkbox"/>
commercial/industrial	<input type="checkbox"/>
land subject to cross-lease	<input type="checkbox"/>

Other.....

Signature of tradesperson

[Signature] date work completed.....

Permit No. for job..... dated.....

Inspectors notes:

.....
Inspector's signature

- Safety notes:**
- ventilate deep manholes before entering
 - don't work alone in deep manholes or trenches
 - wash your hands before eating
 - beware of electrical cables, gas pipes and overhead power hazards

Check for cables before you dig

Accurate drainage plans save time and money

- for property owners and occupants
- for tradespersons
- for council staff

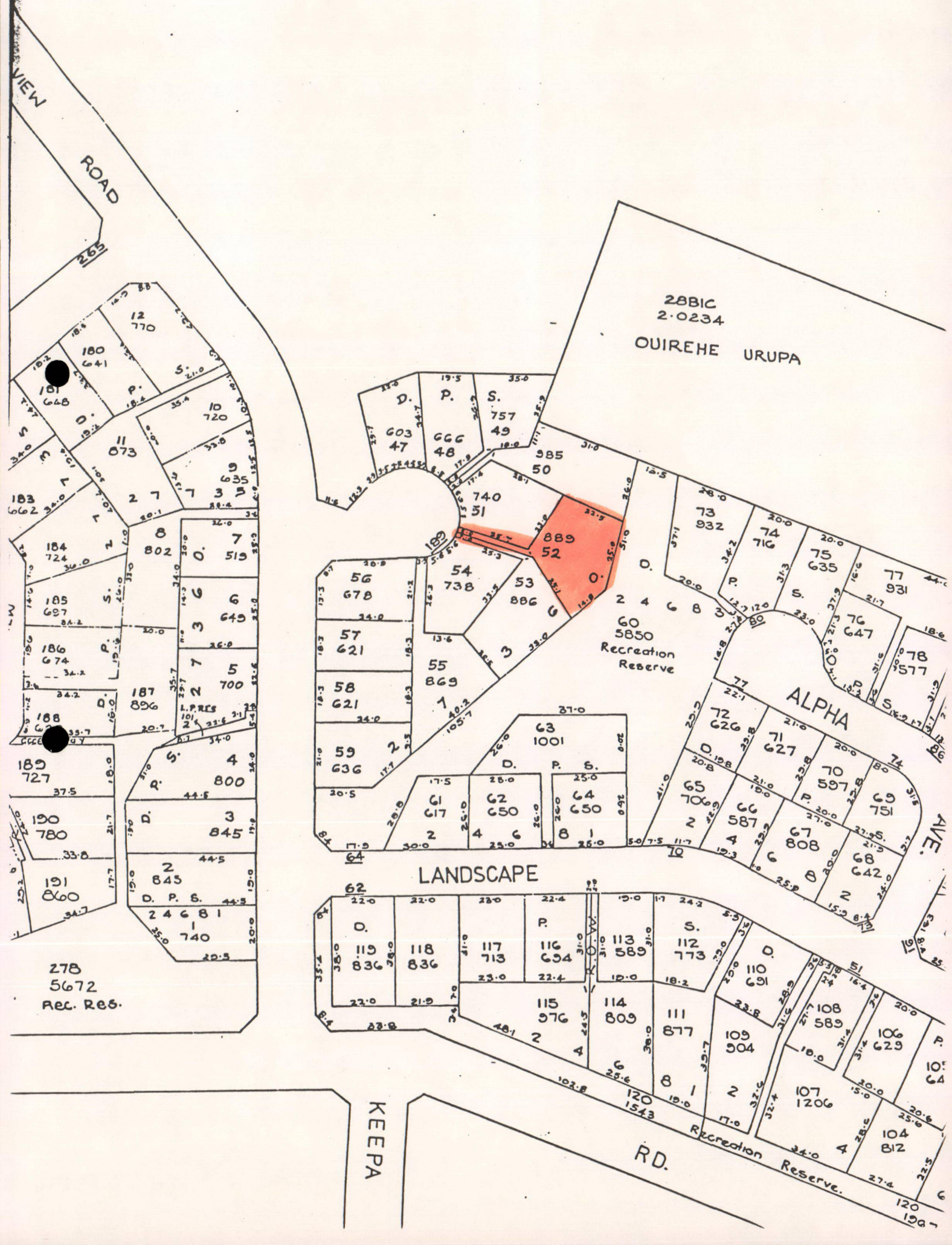
Please take care to write or print legibly

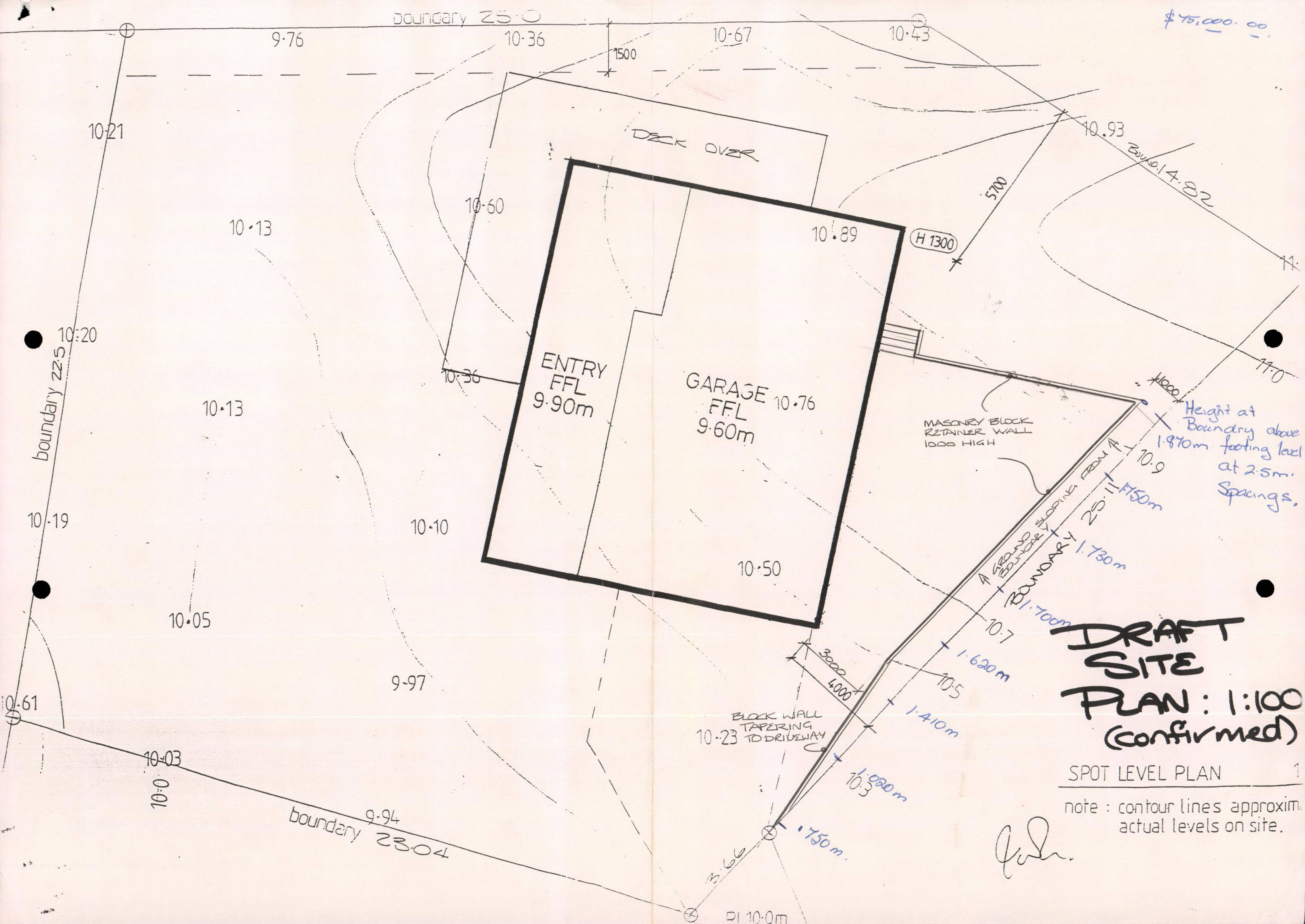
- Always show
- the direction of North
 - the name of the main street frontage
 - the outline of all the buildings
 - the location of all inspection access fittings
 - the boundaries of the property
 - the **exact** location of connection between drains and sewer
 - the scale of your plan

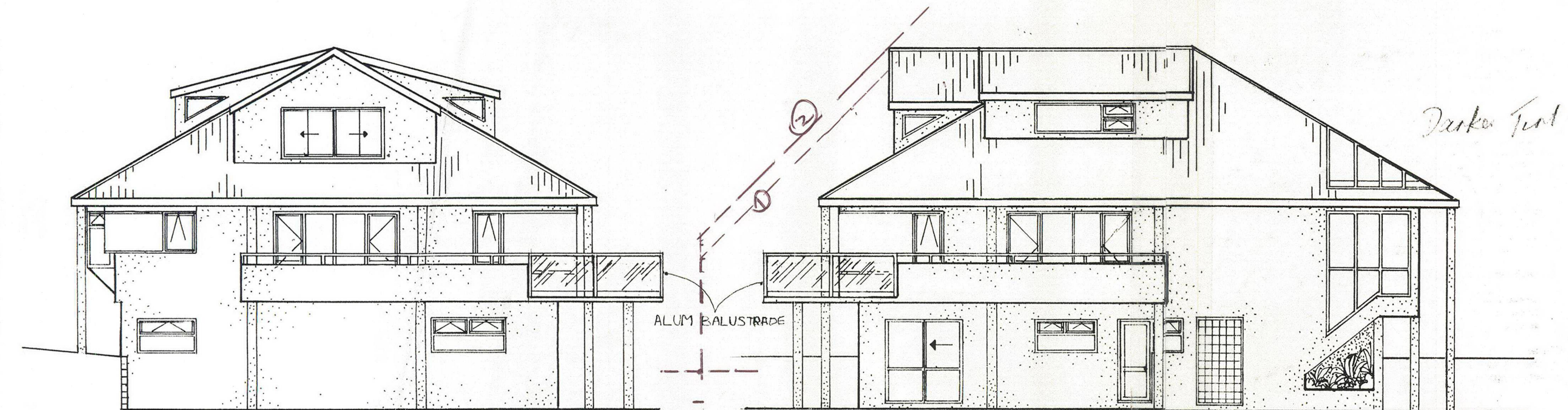
If you forget to hand this plan to the council inspector, please post it to:

**The Chief Inspector
Whakatane District Council
Private Bag
Whakatane**

PT 28BIB2
7.2879
18/1





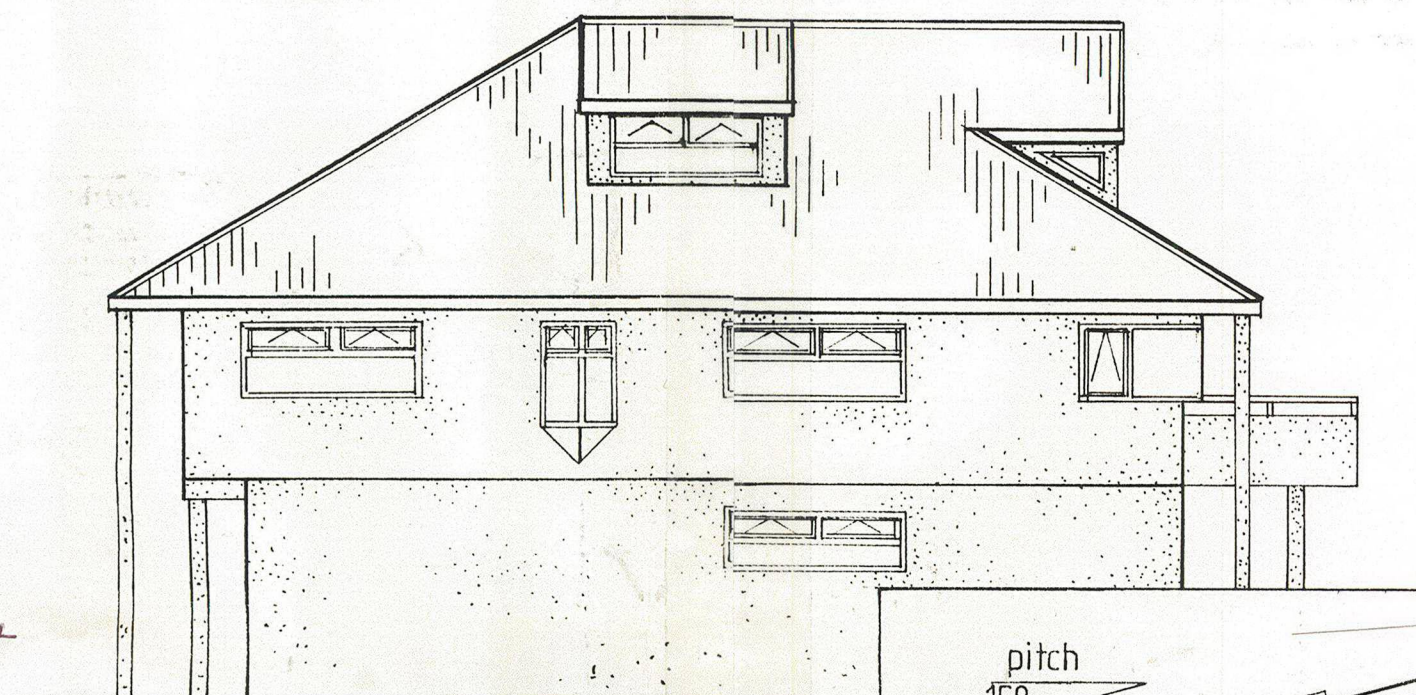


EAST

NORTH

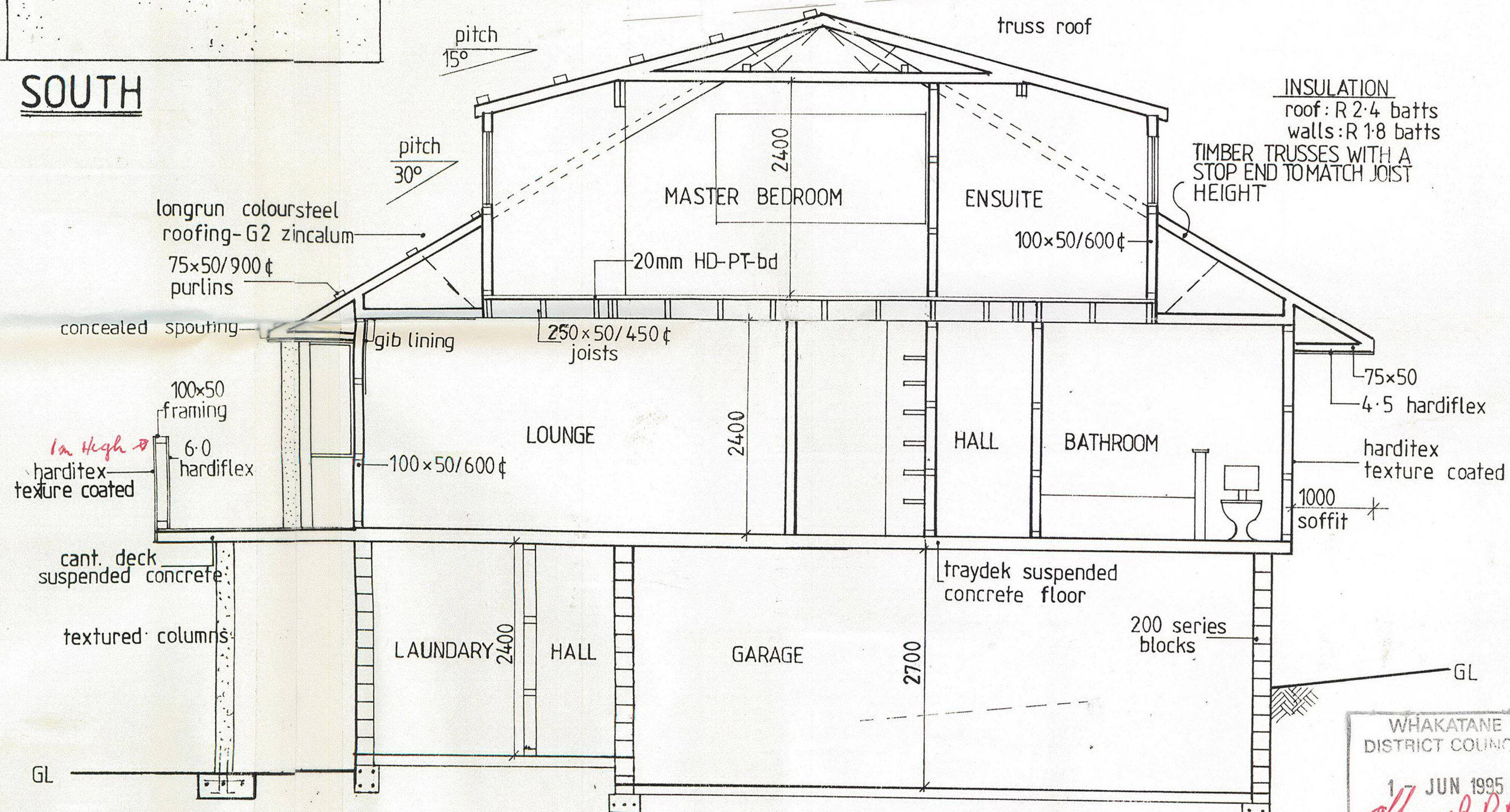


WEST



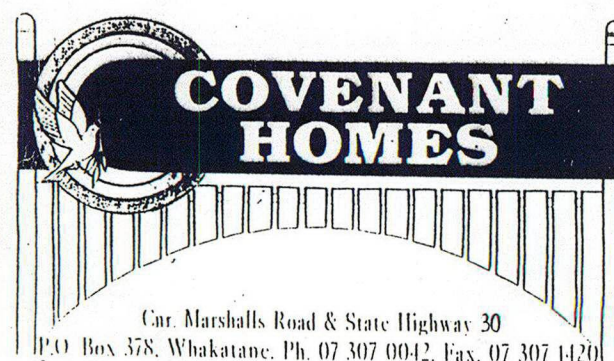
SOUTH

**NEW RESIDENCE
MR & MRS. P. HARRIS
RURIMA RISE COASTLANDS.**



CONSTRUCTION NOTES.

- Concrete construction shall be in accordance with NZS 3109. Minimum concrete compressive strength at 28 days shall be 25 MPa for the first floor slab, 20 MPa for circular columns and retaining wall footings, 17.5 MPa elsewhere.
- Reinforced hollow concrete masonry construction shall be in accordance with NZS 4210 for Grade B construction. The Design Engineer shall be notified at least two working days in advance of any grouting.
- Reinforced hollow concrete masonry shall be grouted solid.
- Retaining walls shall not be backfilled until concrete has attained its specified strength, unless adequate temporary bracing has been installed.
- Temporary propping shall be installed in the following locations until the first floor slab has attained its specified strength.
 - traydek 300 - 0.75mm shall be propped at midspan.
 - first shell beams shall be propped at 300 mm from supports and at midspan unless instructed otherwise from manufacturer.
- Structural steel shall be Grade 250 (AS 1204) or equivalent. Fabrication and erection of structural steelwork shall meet the requirements of NZS 3404:1992 and shall be in accordance with best trade practice.
- Prior to painting, structural steelwork shall be solvent cleaned to SSPC SP1 specification, and power tool cleaned to SSPC SP3. Protective coatings shall comprise zinc chromate shop primer (40 micron dft).
- Structural timber shall be No.1 Framing Grade Pinus Radiata, or Standard Building Grade Douglas Fir, unless specified otherwise.
- Light timber framed construction shall be in accordance with NZS 3604:1990 unless specified otherwise on the plans.
- Check all dimensions on site.
- Proprietary systems, and products, shall be installed strictly in accordance with the manufacturers' recommendations.
- Foundation design assumes that the site requirements of NZS 3604:1990 are met, and that the foundation subsoils have a safe allowable bearing pressure of 100 kPa.
- All construction shall meet the requirements of the New Zealand Building Code Approved Documents.



Cor. Marshalls Road & State Highway 30
P.O. Box 578, Whakatane, Ph. 07 307 0042, Fax. 07 307 1420



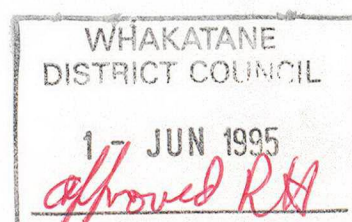
PLANS 3909

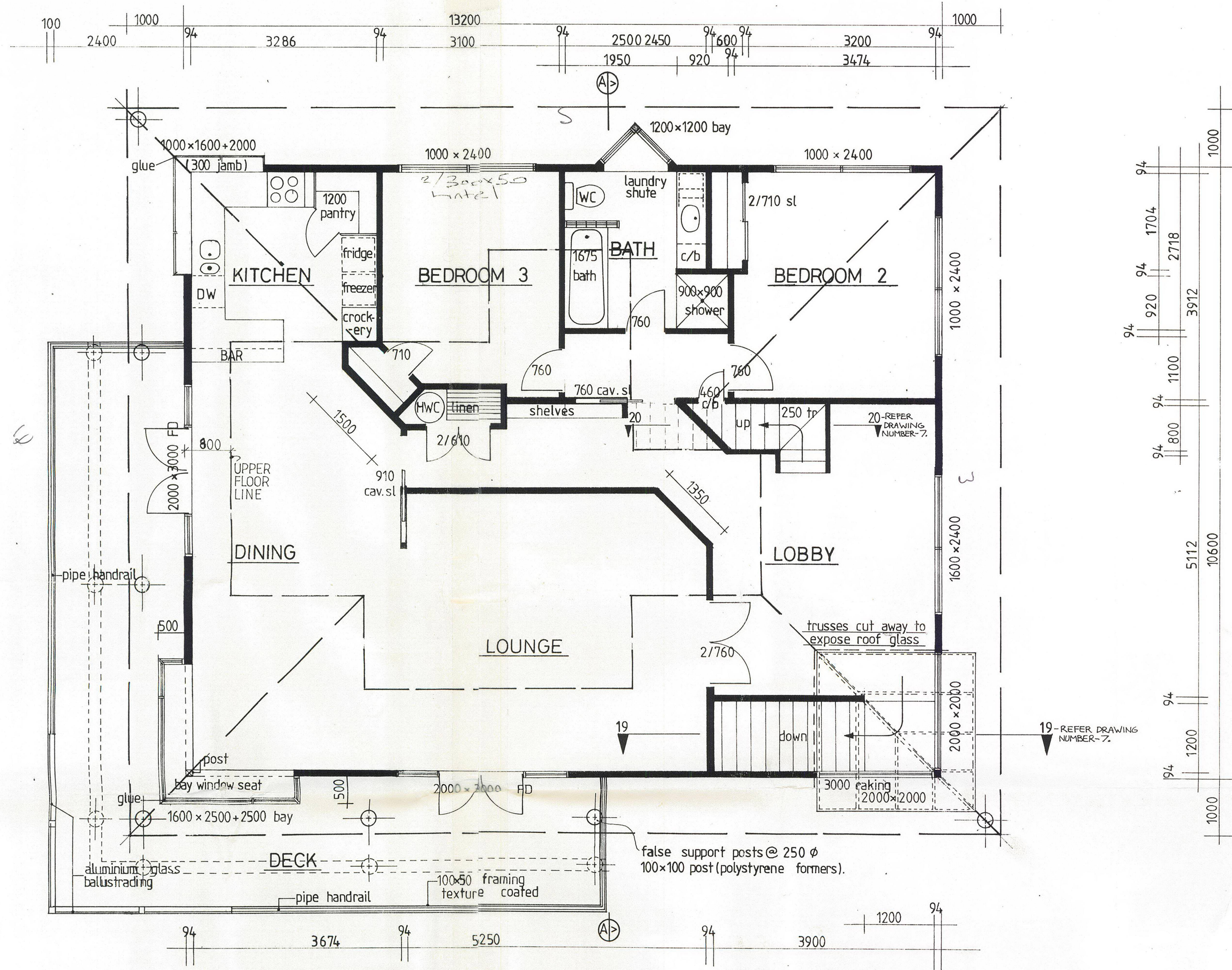
THESE PLANS REMAIN THE PROPERTY OF
COVENANT HOMES AND MAY NOT BE
COPIED OR REPRODUCED WITHOUT
AUTHORISATION OF THE COMPANY

SECTION A-A
1:50

HARRIS

drawing number. 1 of 7

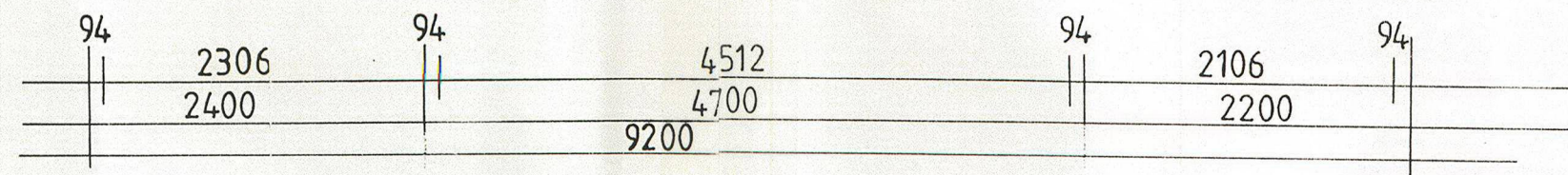
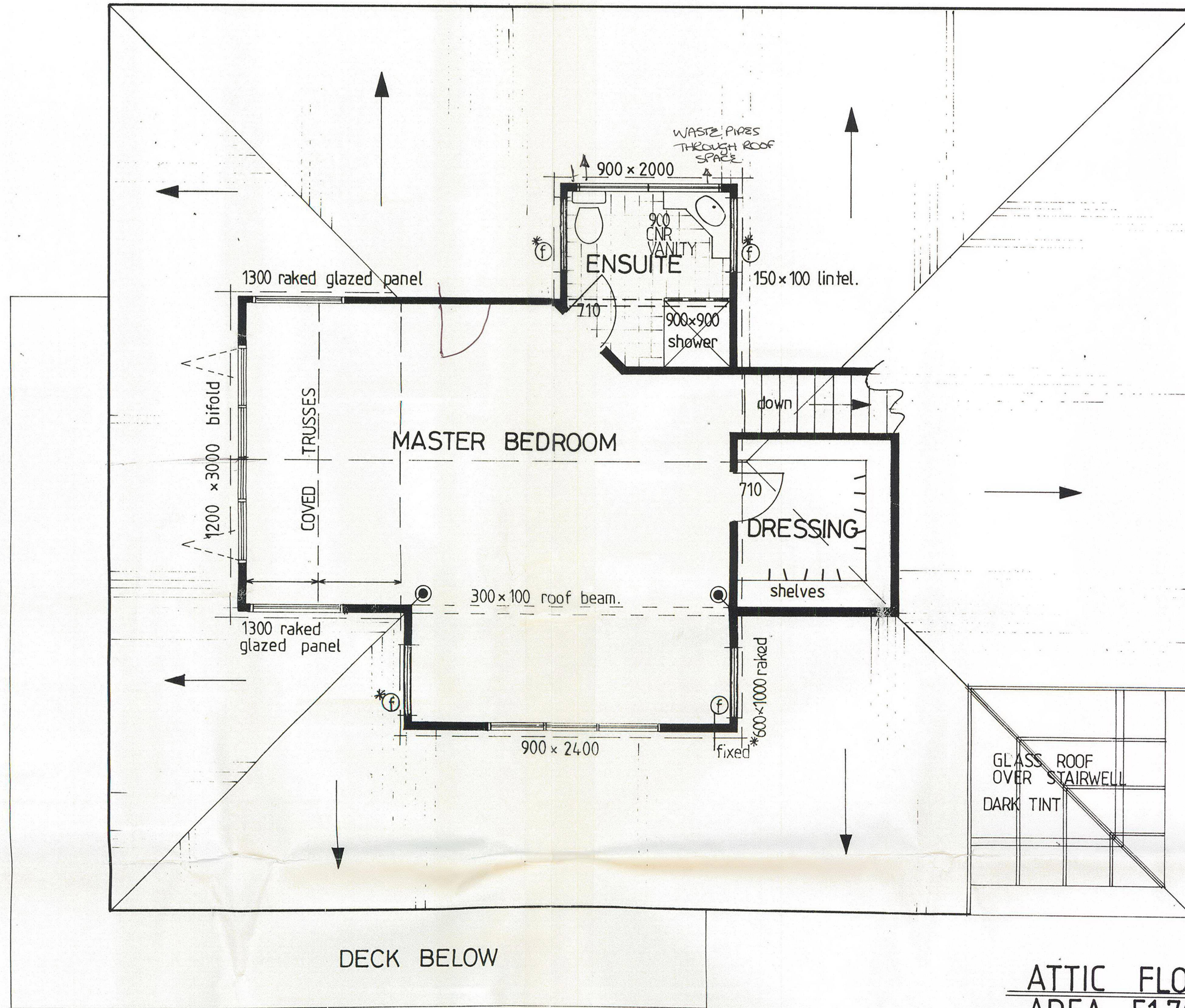
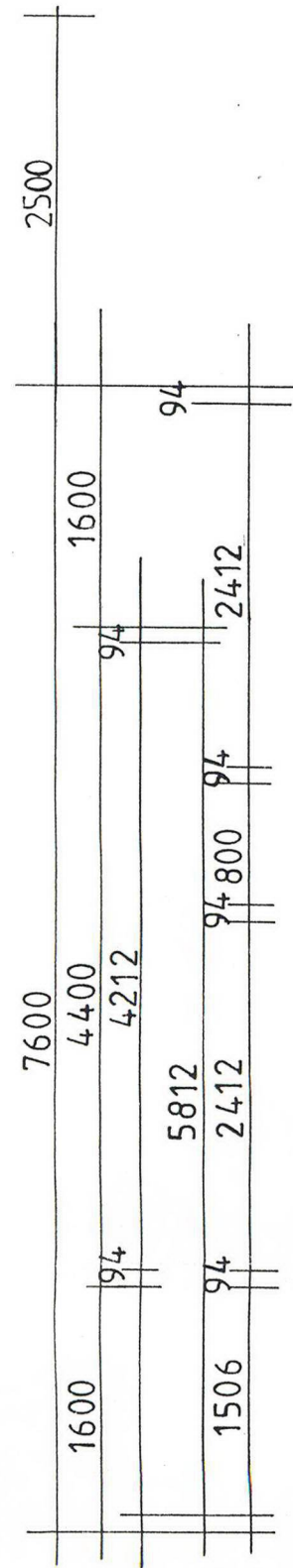
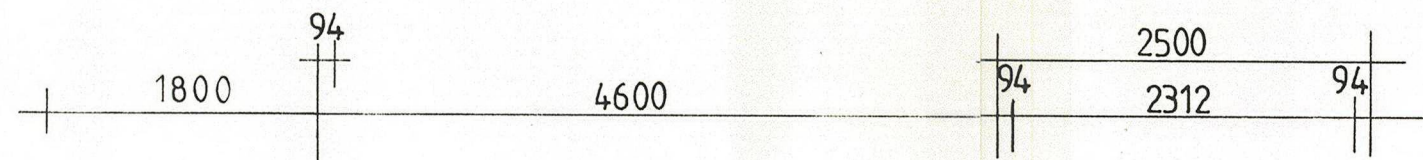




PLAN-FIRST FLOOR 1:50
AREA 141m

NEW DWELLING
MR MRS. P. HARRIS
RURIMA RISE COASTLANDS

drawing number. (2) of 7



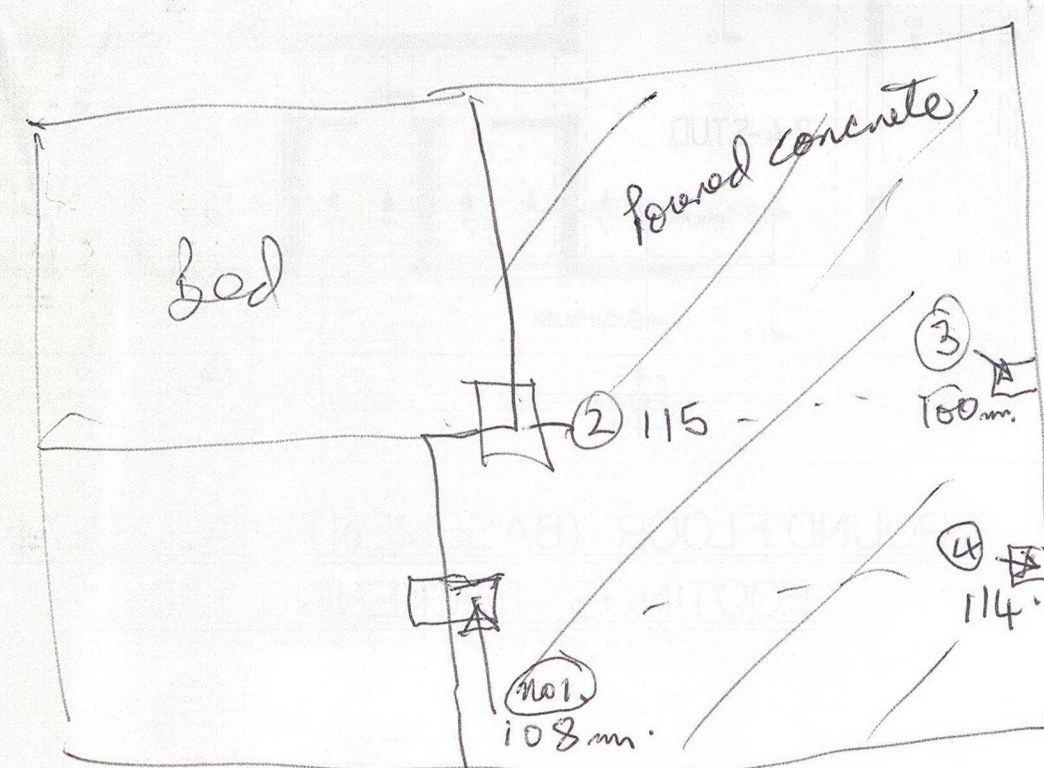
LINTEL FIXING AGAINST UPRIGHT.
 ● — fix lintel and supporting studs against uplift with 1/25x12mm galv strap with 6/ 30x3-15 galv nails per strap end.

ATTIC FLOOR
AREA 51.74m

drawing number. **3** OF 7

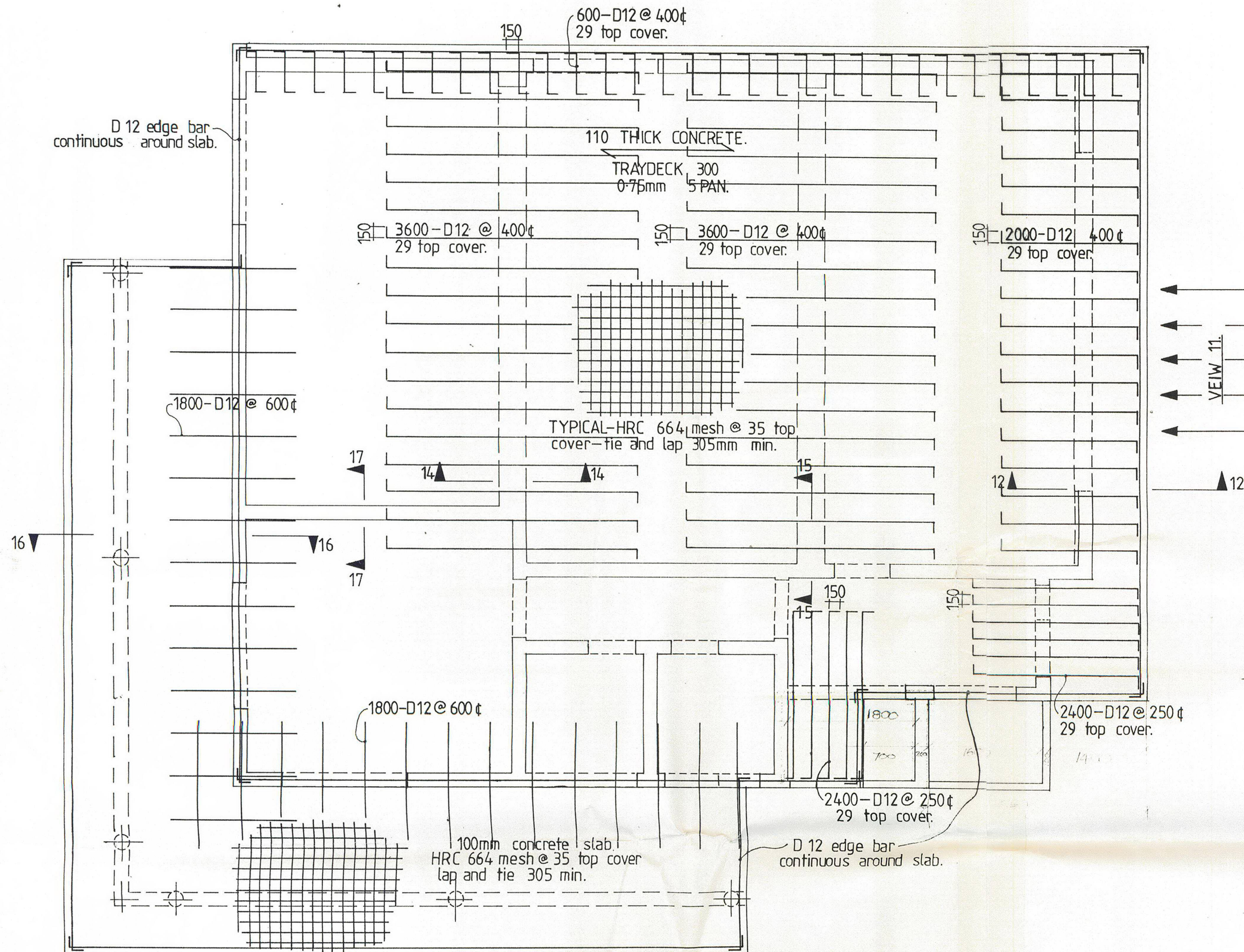
MR MRS. P. HARRIS
RURIMA RISE
COASTLANDS





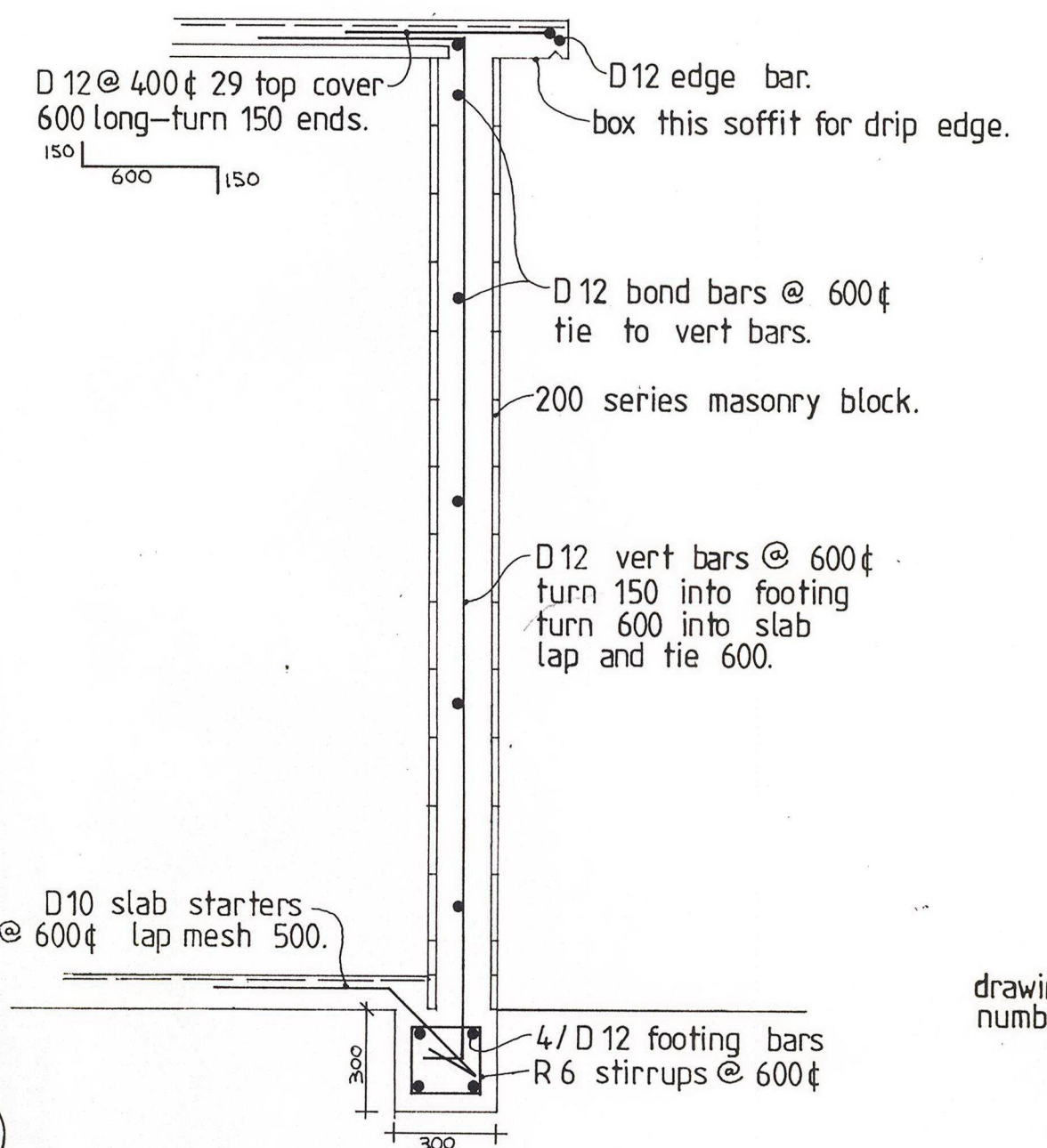
16/6/95
R.A.

- NOTE: 1 TEMPORARY PROP TRAYDECK 300 — 0.75mm @ MIDSPAN
UNTIL CONCRETE SLAB HAS CURED.
- 2 TEMPORARY PROP SHELL BEAMS 300mm IN FROM SUPPORTS
AND AT MIDSPAN UNTIL CONCRETE SLAB HAS OBTAINED
ITS SPECIFIED STRENGTH.



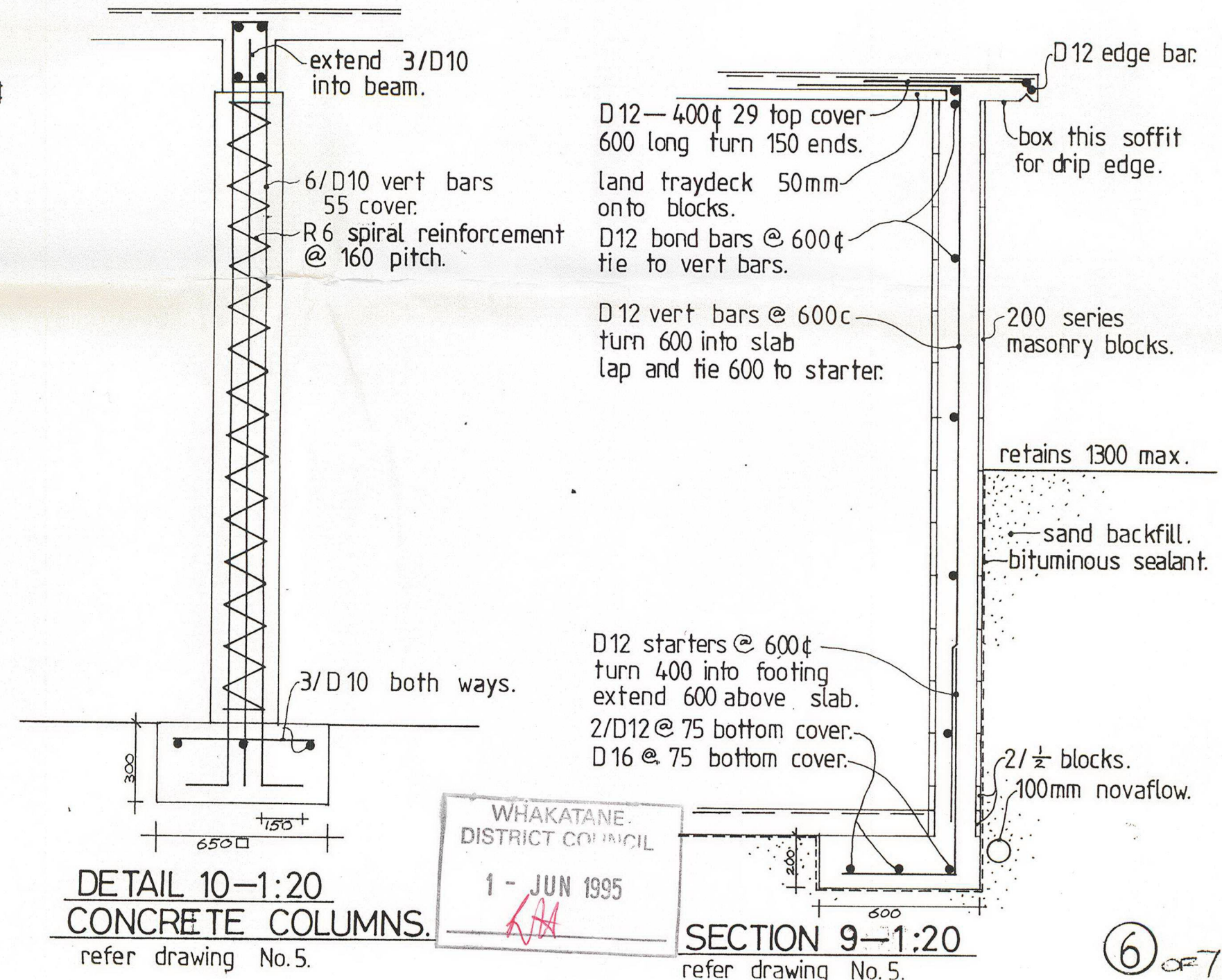
FIRST FLOOR SLAB-REINFORCEING PLAN. 1-50

**MR. MRS. P. HARRIS
RARIMU RISE COASTLANDS.**



SECTION 8-1:20
refer drawing No. 5.

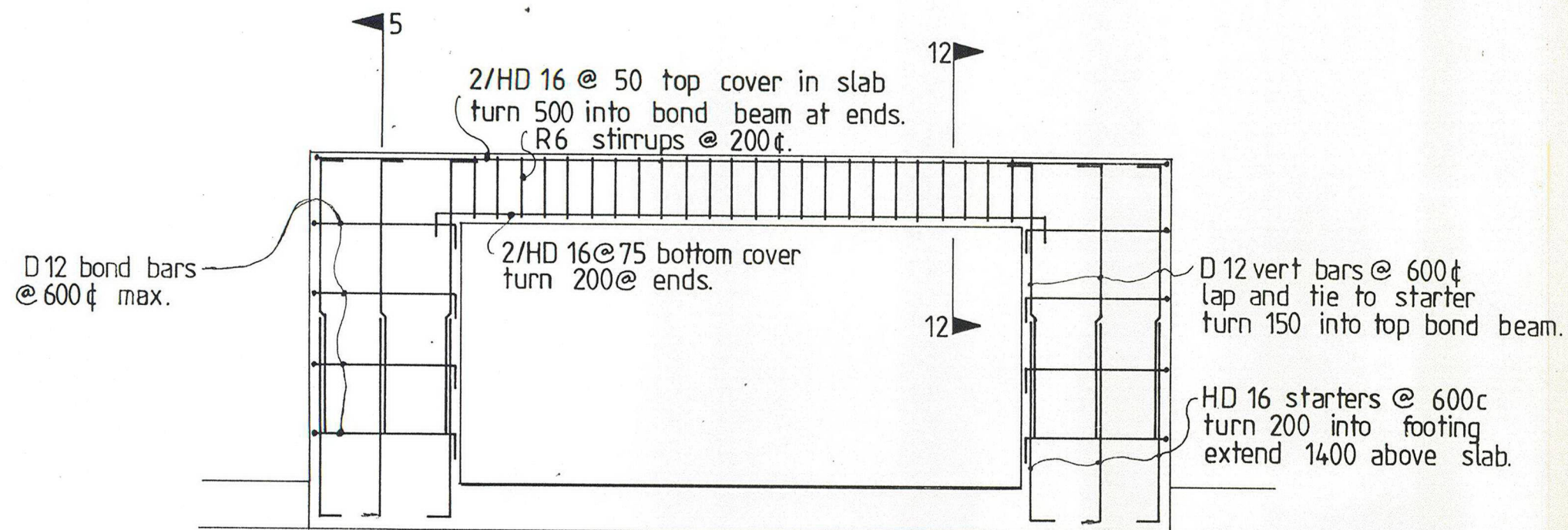
drawing number **6**



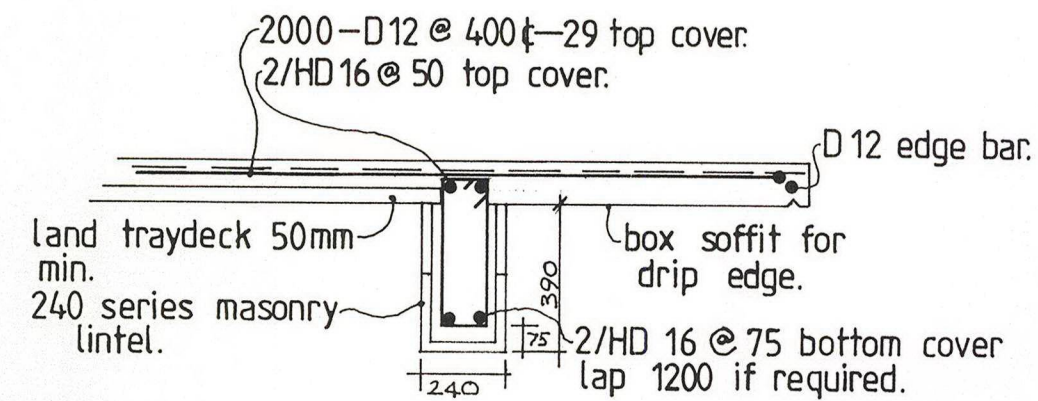
**DETAIL 10-1:20
CONCRETE COLUMNS.**
refer drawing No. 5.

SECTION 9-1:20
refer drawing No. 5.

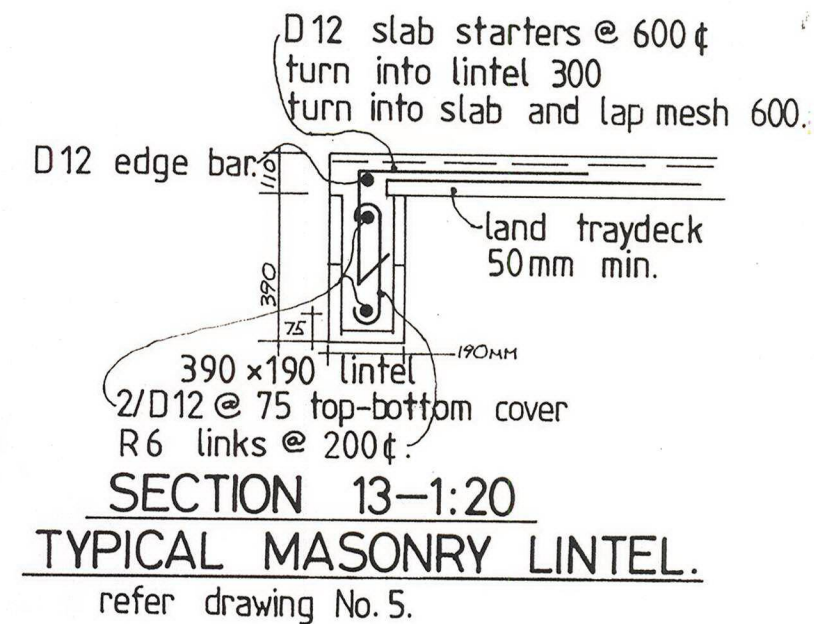
6 of 7



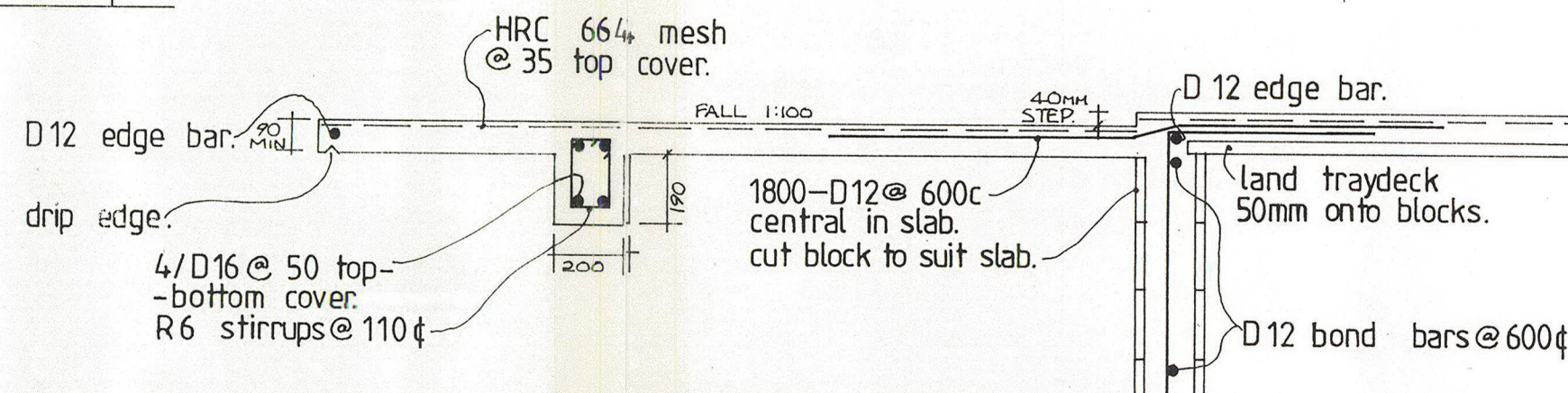
**VEIW 11-1:50
GARAGE DOOR LINTEL.**
refer drawing No. 5-6.



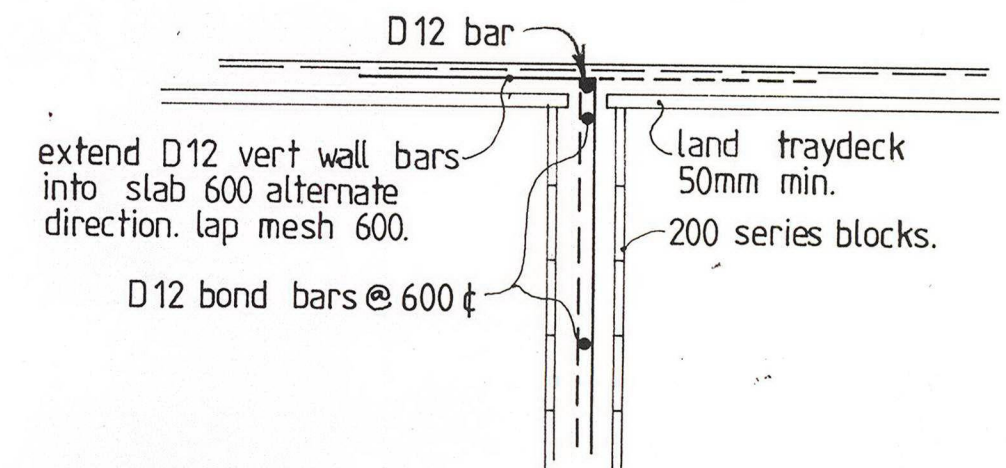
**SECTION 12-1:20
GARAGE DOOR LINTEL.**
refer drawing No. 5-6-veiw 11.



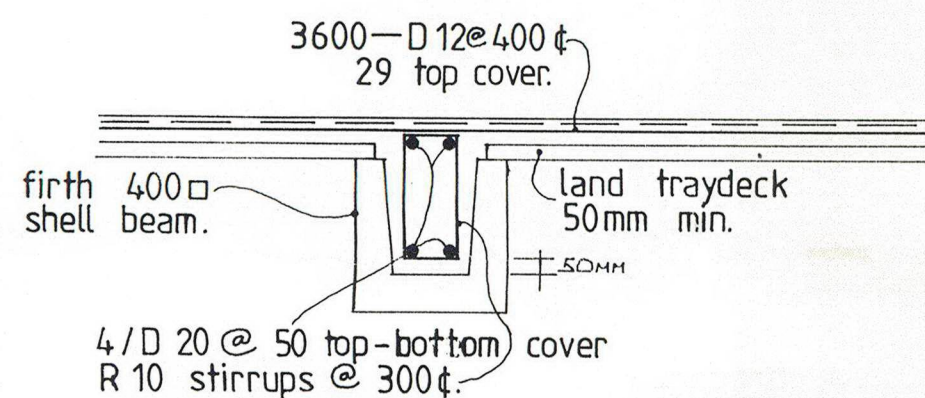
**SECTION 13-1:20
TYPICAL MASONRY LINTEL.**
refer drawing No. 5.



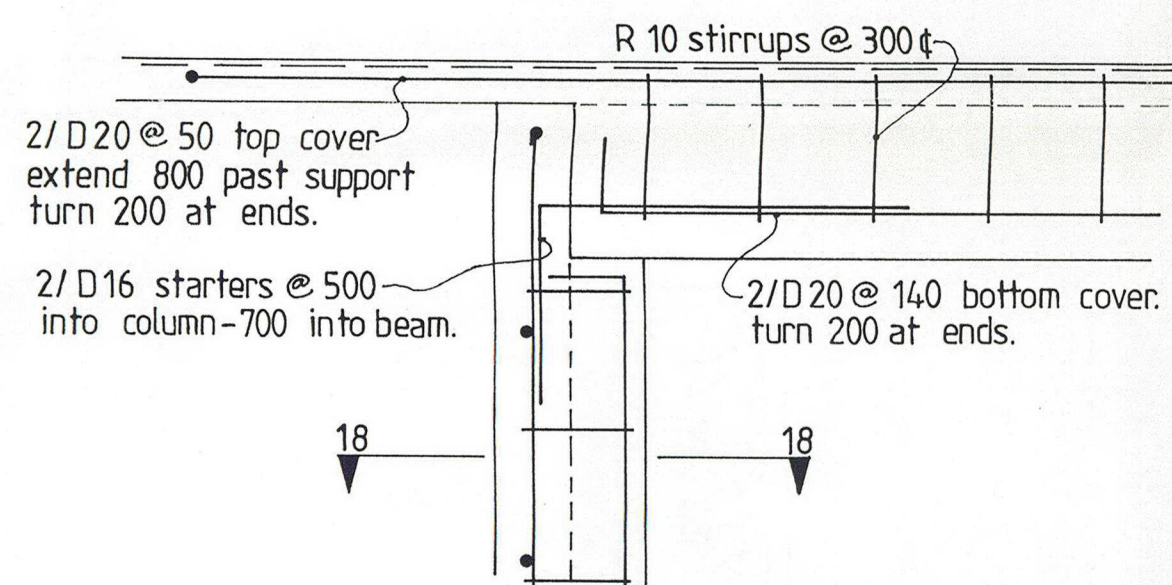
SECTION 16-1:20
refer drawing No. 6.



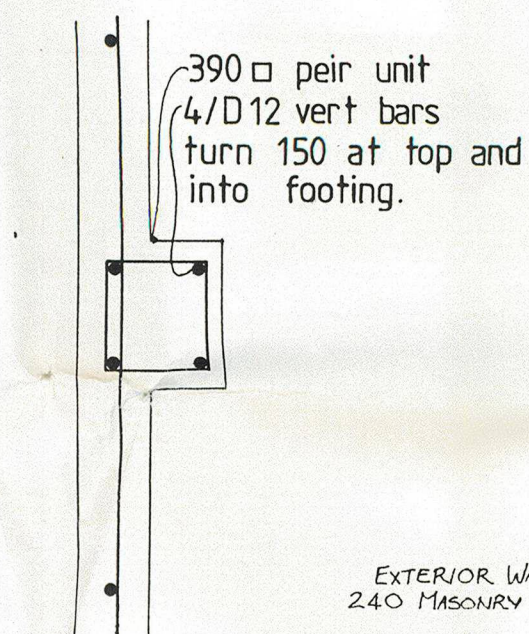
SECTION 17-1:20
refer drawing No. 6.



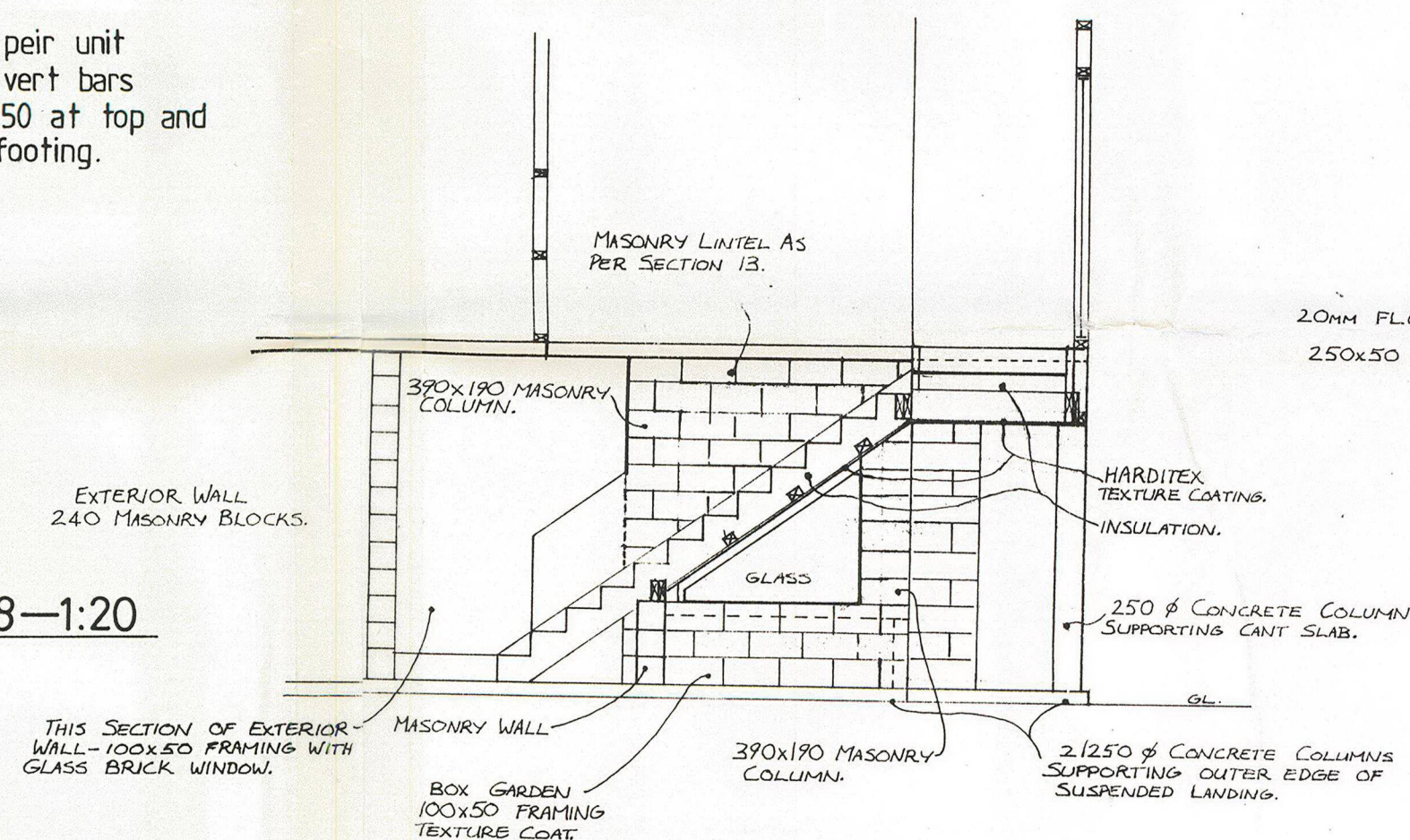
SECTION 14-1:20
refer drawing No. 5-6.



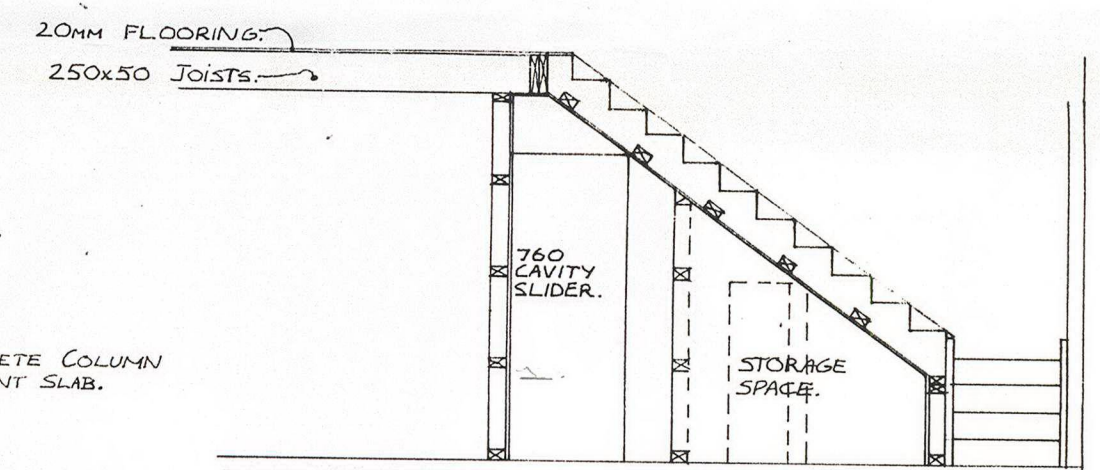
**SECTION 15-1:20
SHELL BEAM AND SUPPORTING PEIR UNIT.**
refer drawing No. 6.



SECTION 18-1:20

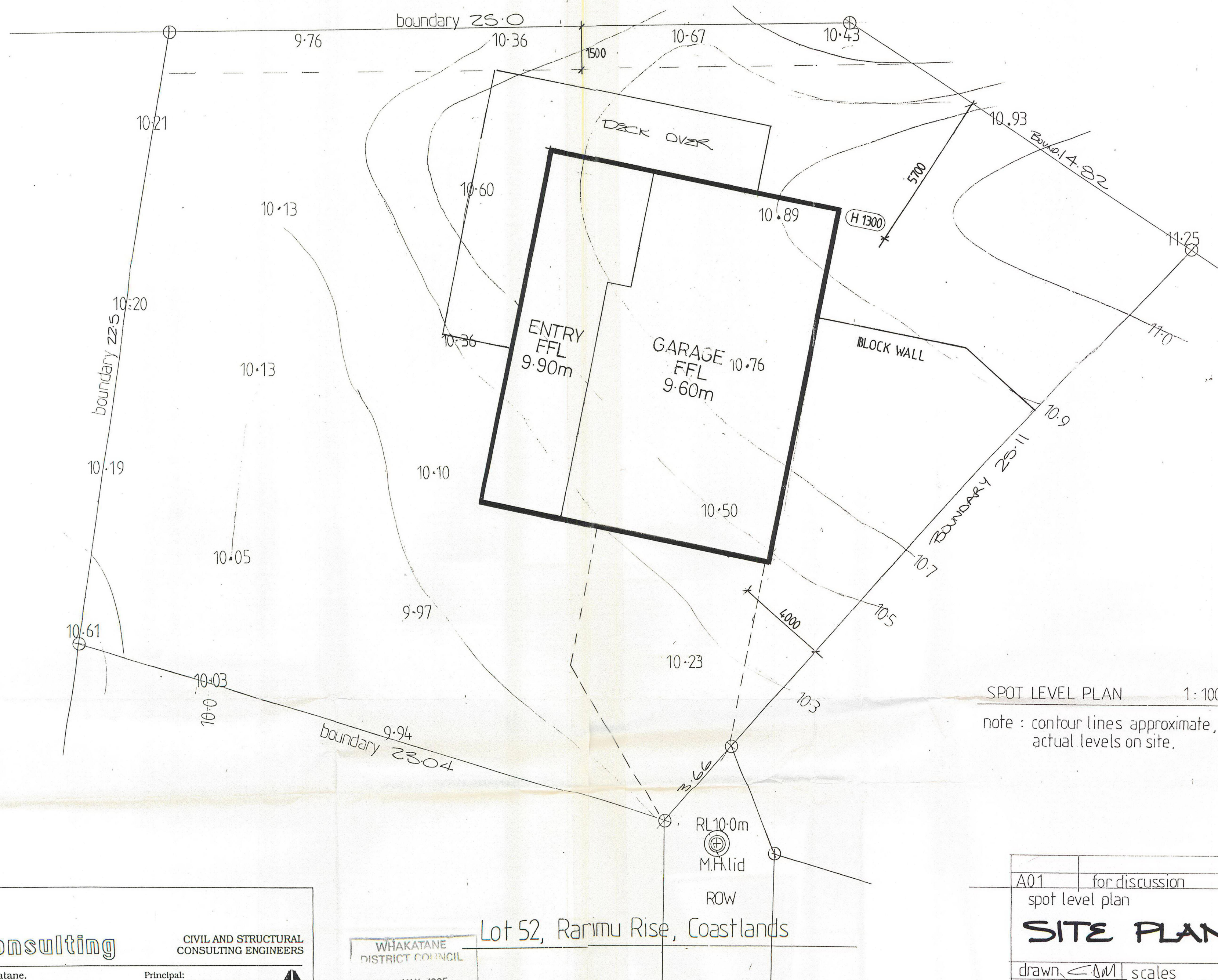
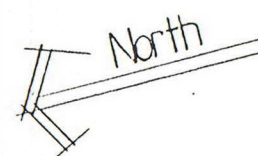


SECTION 19-1:50



SECTION 20-1:50

WHAKATANE
DISTRICT COUNCIL
17 JUN 1995
Approved by



SPOT LEVEL PLAN 1:100

note : contour lines approximate, confirm actual levels on site.

h Cutfield Consulting

50 Strand East, P.O. Box 37, Whakatane.
Telephone (07)3071444.

CIVIL AND STRUCTURAL
CONSULTING ENGINEERS

Principal:
Barry Cutfield - BE, MIPENZ



WHAKATANE
DISTRICT COUNCIL

1 - JUN 1995

approved BH

Lot 52, Rarimu Rise, Coastlands

A01	for discussion	< & M	13/2/95
spot level plan		sheet	
SITE PLAN		9	
drawn < & M	scales	series of 1	
date Feb 1995	1:100	ref 34595	

WHA KATANE
DISTRICT COUNCIL

1 - JUN 1995

approved R.D.

